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To: Albuquerque Planning Department                      From: Jack Ammerman, Project Manager,  
Stantec

File: 193806697    Date: April 26, 2024

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**Reference: Westpointe Data Center – Response to DFT Comments  
PR-2020-004747 – Project Number  
SI-2024-00451 – Site Plan DFT**

This provides a response to review comments received April 17, 2024, from the Albuquerque Planning Department on 10 MW Data Center located at Daytona Rd NW between 94<sup>th</sup> St NW and 90<sup>th</sup> St NW.

For convenience, the received comments are provided in **bold** with our responses provided below in *italics*.

The following comments were prepared by Jeff Palmer, Code Enforcement Supervisor on behalf of the Planning Department; Renée Brissette, PE, Senior Engineer on behalf of DFT Hydrology; Ernest Armijo, P.E. on behalf of DFT Transportation; Hannah Aulick, Jolene Wolfley and Jay Rodenbeck on behalf of the Planning Department.

**Code Enforcement Comments (Prepared by Jeff Palmer)**

- 1. Property is zoned NR-BP and has a prior EPC approved Site Plan which may need to be amended, accordingly.**

*The prior EPC approved Site Plan included warehouse industrial uses. Since the previous EPC Site Plan approval, warehouse projects have been approved and constructed within the master development covered by that approval which did not require an amendment. Per our understanding of the adjacent and previous projects within the development, an amendment would not be required.*

- 2. Property must meet NR-BP Dimensional Standards, as per IDO 5-1(E), Table 5-1-3, which it appears to do.**

*Acknowledged.*

- 3. Please clarify types of use proposed for calculation of parking. Site Plan and application indicate Office use and data center. Justification letter shows it as Warehouse. Please determine correct use as defined by the IDO.**

*Per City feedback at the pre-app meeting the use will be classified as Warehouse, which has no minimum parking requirements per the IDO. The plans have been updated to reflect this use and parking requirement.*

- 4. Parking must meet all requirements of IDO 5-5, Table 5-5-1. Must show amount of floor area dedicated to each respective use, parking requirements for that use, and total required parking calculations based on areas of use.**

*Per City feedback at the pre-app meeting the use will be classified as Warehouse, which has no minimum parking requirements per the IDO. The plans have been updated to reflect this use and parking requirement.*

Reference: Westpointe 10MW Data Center

- 5. Walls and fences must meet requirements of IDO 5-7, Walls and Fences, as per Table 5-7-1 and related sections for materials and height allowed. In the NR-BP zone, wall heights may be determined and called out in the Master Development Plan. If not called out in the Master Development Plan, then the NR-BP zone is limited to 8 ft in side/rear yards and 6 ft in front or street side, if set back 5 ft from property line and view fencing above 3 feet, as per IDO 5-7(D)(3). Anything higher will require a Variance.**

*The perimeter security fence has been reduced to 6' high to comply with the maximum height allowable within the zone per the IDO. The fence along the frontage of the property is setback greater than the minimum requirement from the property line to allow for the 6' height. The screenwalls on the north side of the building on each side of the building have been removed via coordination with City Staff and the addition of increased landscape buffer elements. The screenwall on the south side surrounding the water storage tanks is an architectural building element.*

- 6. Need to provide Landscaping plan meeting requirements of IDO 5-6, with calculations shown for percent of net lot area, percent of coverage, number of street trees, and all other applicable requirements.**

*Acknowledged. Sheet L-800 has been included depicting the calculations for landscaping requirements. Calculations have been updated to include recent changes requested via DFT comments.*

- 7. Lighting must meet requirements of IDO 5-8 Outdoor and Site Lighting.**

*Acknowledged*

- 8. Site plan should show how Building Design is meeting applicable requirements of IDO 5-11, Building Design.**

*On the southeast elevation (Daytona), awnings have been added above the doors. Textured concrete panels have been added to the building to create further visual interest. The building will be painted two tones of gray along with a vivid blue. We discussed with the planner to vary the parapet height on the southeast and northwest elevations, but it was agreed that this was not necessary due to structural limitations for tall parapets. The parapet fully blocks any view of rooftop equipment.*

- 9. Signs must meet requirements of Master Development Plan, if existing, and otherwise for NR-C zone as required in IDO section 5-12, Table 5-12-2.**

*The only exterior signage will be as required by the fire department or other authorities.*

#### **Engineering Comments – Hydrology Section (Prepared by Renée Brissette, P.E., Senior Engineer)**

- 1. Hydrology has an approved Conceptual Grading & Drainage Plan (K09D026D) with engineer's stamp 03/08/2024.**
- 2. Hydrology has no objection to the Site Plan for Building Permit.**
- 3. Hydrology has no objection to the platting action.**
- 4. Hydrology has no objection to the Infrastructure List.**

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5. **Comment – Prior to submitting for Building Permit, a licensed New Mexico civil engineer will need to submit a Grading & Drainage Plan to Hydrology for review & approval if one of these conditions is met. (500 cy of grading, 1,000 sf of proposed building, or 10,000 sf of proposed paving).**

*Acknowledged*

#### **Engineering Comments – Transportation Development (Prepared by Ernest Armijo, P.E.)**

1. **Transportation has an approved Conceptual Site Plan dated 3/15/2024**

*Acknowledged*

2. **The infrastructure list included combines too many items which should be broken out. For example item #1 lists pavement, curb and gutter, and sidewalk all together. These should be broken out separately as they use different units for sizing purposes.**

*The infrastructure list has been revised to break out the site paving items and has been included in the resubmittal for review.*

3. **On the infrastructure list you call out pavement for Major Local, but this is a proposed Major Collector and needs to be constructed meeting those standards.**

*Acknowledged. The infrastructure list has been revised to reflect Major Collector.*

4. **As a reminder, a full TCL will be required prior to Building Permit.**

*Acknowledged*

#### **Planning – Case Comments (Prepared by Hannah Aulick/Jolene Wolfley/Jay Rodenbeck)**

1. **The Infrastructure List is included with this application and is being tied to the Site Plan Administrative DFT application. Therefore, the future platting action request associated with the subject property is considered Minor.**

**A replat will be necessary for the property lot line adjustment. Additionally, the proposed data center facility is depicted encroaching on an existing property line, which would require a replat. The platting action needs to be submitted to the Development Hearing Officer (DHO) concurrently with the submittal of the Site Plan to the DFT for administrative review. The Site Plan cannot have final signatures until the Plat is recorded.**

*Acknowledged. The project received DHO approval for Minor Lot Subdivision with applicable conditions on 4/24/2024.*

**Planning requests that the lot line adjustment be presented more clearly on exhibits. Show both existing tracts clearly on a plat sheet and demonstrate the alterations that are being proposed to both tracts.**

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*The Zone Atlas Maps have been revised to clearly show the proposed tracts. Plat documents have been provided with this resubmittal that label the existing tract lines to be vacated and the proposed lot adjustment for clarity.*

- 2. The applicant has confirmed in their letter that as part of this project, Daytona Rd NW will be extended south adjacent to the proposed property per City requirements. The Infrastructure List includes this Improvement. This Infrastructure List is being submitted with and tied to the Site Plan Administrative DFT application. Planning defers to Transportation and Water Utility Authority engineers to verify and confirm the content of the Infrastructure List is acceptable for this project.**

*Acknowledged.*

- 3. The Zone Atlas document provided in this application appears to show a different layout and does not seem to match the proposed site plan. Please make proper adjustments to show the correct layout on all related documents.**

*The Zone Atlas Maps have been revised to reflect the proposed lot adjustment accordingly and have been included in the resubmittal.*

- 4. Form SP has been signed by Transportation, Hydrology and Water Utility Authority.**

*Acknowledged.*

- 5. This site is located along I-40 and Daytona Rd NW.**

**Daytona Rd is a local street. (5 ft. sidewalk and 4-6 ft. landscape Buffer is required) Planning defers to Transportation engineer to confirm the compliance of proposed sidewalk and section.**

*Acknowledged. Daytona is classified as a Major Collector. Transportation has reviewed and approved the proposed 6' sidewalk width and cross section / boulevard / buffer design via the DHO process.*

- 6. Fire One and Solid Waste approval sheets are included in this application package.**

*Acknowledged.*

- 7. The project and application numbers must be added to cover sheet (preferably to the Site Plan sheet), prior to final sign-off from Planning.**

*The plans have been revised to include the project number and application number on the Cover Sheet and Site Plan.*

- 8. All Plan sheets must be sealed and signed by a design professional licensed in the State of New Mexico.**

*Acknowledged.*

Reference: Westpointe 10MW Data Center

- 9. See Use Specific Standards for Warehousing 4-3(E)18. It appears the provisions do not apply to this site.

Acknowledged.

- 10. Climatic Geographic Responsiveness forms and studies are included in this application. City of Albuquerque Planning Department appreciates the applicant for considering the criteria and achieving many of the design considerations to improve the long-term heating and cooling of the building and surroundings.

Acknowledged.

**IDO/DPM Comments**

**2-5(B) NON-RESIDENTIAL – BUSINESS PARK ZONE DISTRICT (NR-BP)**

**(E) DIMENSIONAL STANDARDS for NR-BP**

Table 2-5-3: NR-BP Zone District Dimensional Standards Summary		
See Table 5-1-3 for complete Dimensional Standards		
Site Standards		
A	Lot width, minimum	100 ft.
B	Building coverage, maximum	50%
Setback Standards		
C	Front, minimum	20 ft.
D	Side, minimum	10 ft.
E	Rear, minimum	10 ft.
Building Height		
F	Building height, maximum	65 ft. >100 ft. from front lot line: N/A

- Per Table 5-1-3:

**Site Standards:**

**Lot Width, Minimum: 100 ft. Proposed lot width about 700 feet: compliant**  
**Building coverage, maximum: 50% Proposed Building Coverage about 20%: compliant**

**Setbacks for NRBP:**

**Front Minimum > 20 ft. 117.8 ft., proposed: compliant**  
**Front Maximum > N/A**  
**Side Minimum > 10 ft. 116.4 ft., proposed: Compliant**  
**Side Maximum > N/A**  
**Rear Minimum > 10 ft. 157.5 ft., proposed: compliant**  
**Rear Maximum > N/A**

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Reference: Westpointe 10MW Data Center

**Building height, maximum > 65 ft. No maximum for portions of building >100 ft. from front lot line Proposed building height: 35 ft. to the top of the parapet and 32 ft. to the top of roof: compliant**

*Acknowledged.*

#### 4-2 ALLOWABLE USES

- Per table 4-2-1 Allowable Uses, warehousing is permissive in the NR-BP Zone District.

*Acknowledged.*

#### 4-3 USE-SPECIFIC STANDARDS

- None of the codes under 4-3(E)(18) Warehousing apply to this project.

*Acknowledged.*

#### 5-3 ACCESS AND CONNECTIVITY

- Per 5-3(D)(3) (a) 3. On-site Pedestrian Connections, Shade trees along required pedestrian walkways are required pursuant to Subsection 14-16-5-6(C)(4)(i) (Required Plant Materials and Site Amenities). **Please confirm how the proposed project complies with this code.**

*The landscape plans have been revised to include shade trees and shrubs along pathways. Please see Sheet L-800 for the detailed calculations and quantity"*

#### 5-1 (D) PARKING AND LOADING

Per Table 5-5-1: Minimum Off-street Parking Requirements, Warehousing has no parking requirements. Applicant is proposing 20 parking spots per number of vehicles and on-site employee numbers, as well as the sporadic daily traffic. Peak periods have been considered in this calculation.

*Acknowledged*

#### 5-2 SITE DESIGN AND SENSITIVE LANDS

- Sensitive Lands Analysis has been included in the application. A certificate of no-effect from City Archeologist dated 1/30/24 is also included in this package.

*Acknowledged.*

- Any Drainage Ponds must meet Standard Specification 1013 or better. See [Drainage Ponds Slope Stabilization and Seeding Requirements.pdf \(cabq.gov\)](#)

Reference: Westpointe 10MW Data Center

**Show proper slope stabilization for the proposed ponding areas on the site.**

*Pond stabilization has been updated to meet Standard Specification 1013. Plans have been updated to include appropriate details and applicable specification. See Sheet L-801 and Sheet L-803, Detail A-1.*

**5-6 LANDSCAPING, BUFFERING, AND SCREENING**

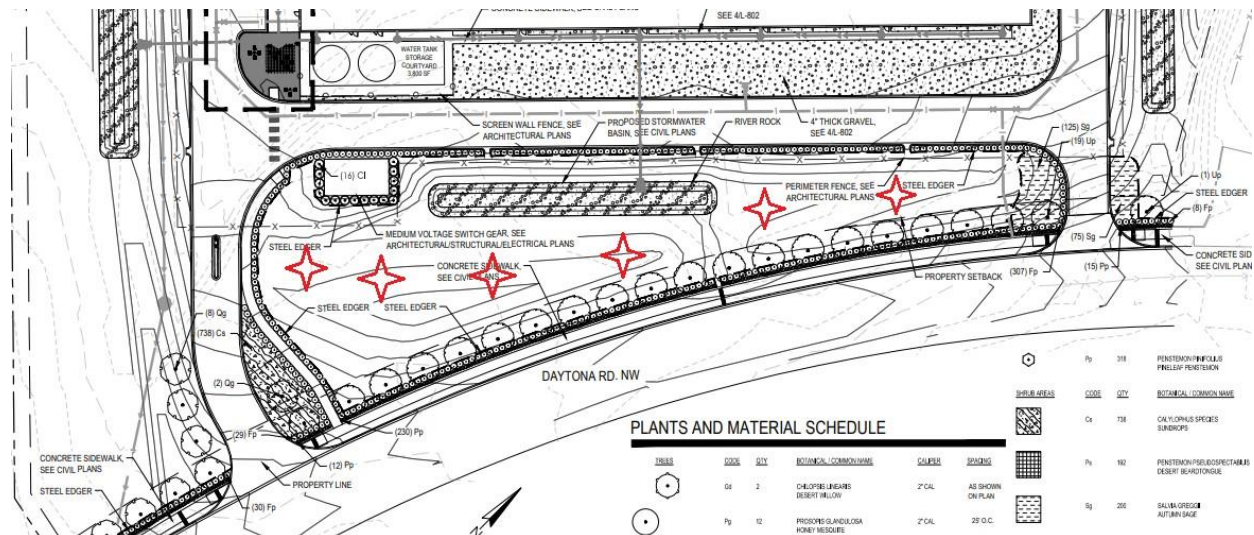
- Landscape plan must be signed and sealed by a Licensed Landscape Architect in the state of New Mexico.**

*Plans have been updated to include Licensed New Mexico Landscape Architect signature and seal.*

- For all proposed trees alternate the tree species to avoid losing all similar tree species in the event a species becomes diseased.**

*The Landscape Plans have been updated to alternate tree species as requested. Species types have been updated per coordination with City Staff on specific types.*

- Please explain why some areas of the site been left empty without landscaping. Add landscaping to the frontage of the site. Please see the marked-up image below for your reference:**



*The Landscape Plans have been updated to provide landscaping coverage over the previously empty areas. Trees have been added per City Staff recommendation on the frontage of the site.*

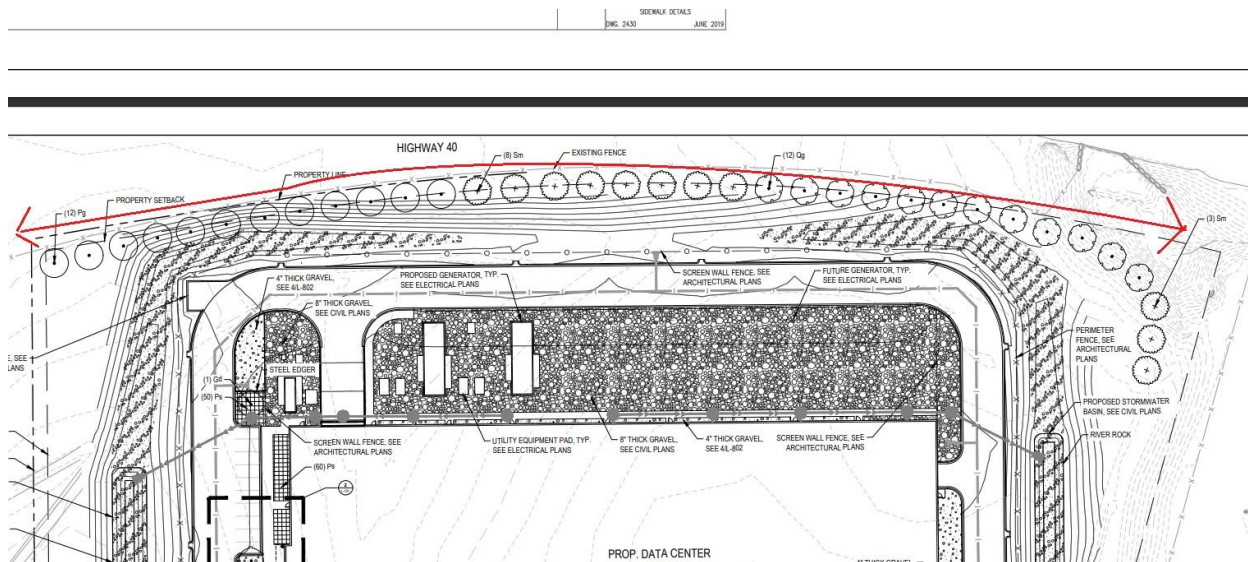
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Reference: Westpointe 10MW Data Center

4. Along the rear stretch of the site, add large evergreen desert shrubs to enhance the provided tree buffer from Interstate 40. See the marked-up image below for your reference:



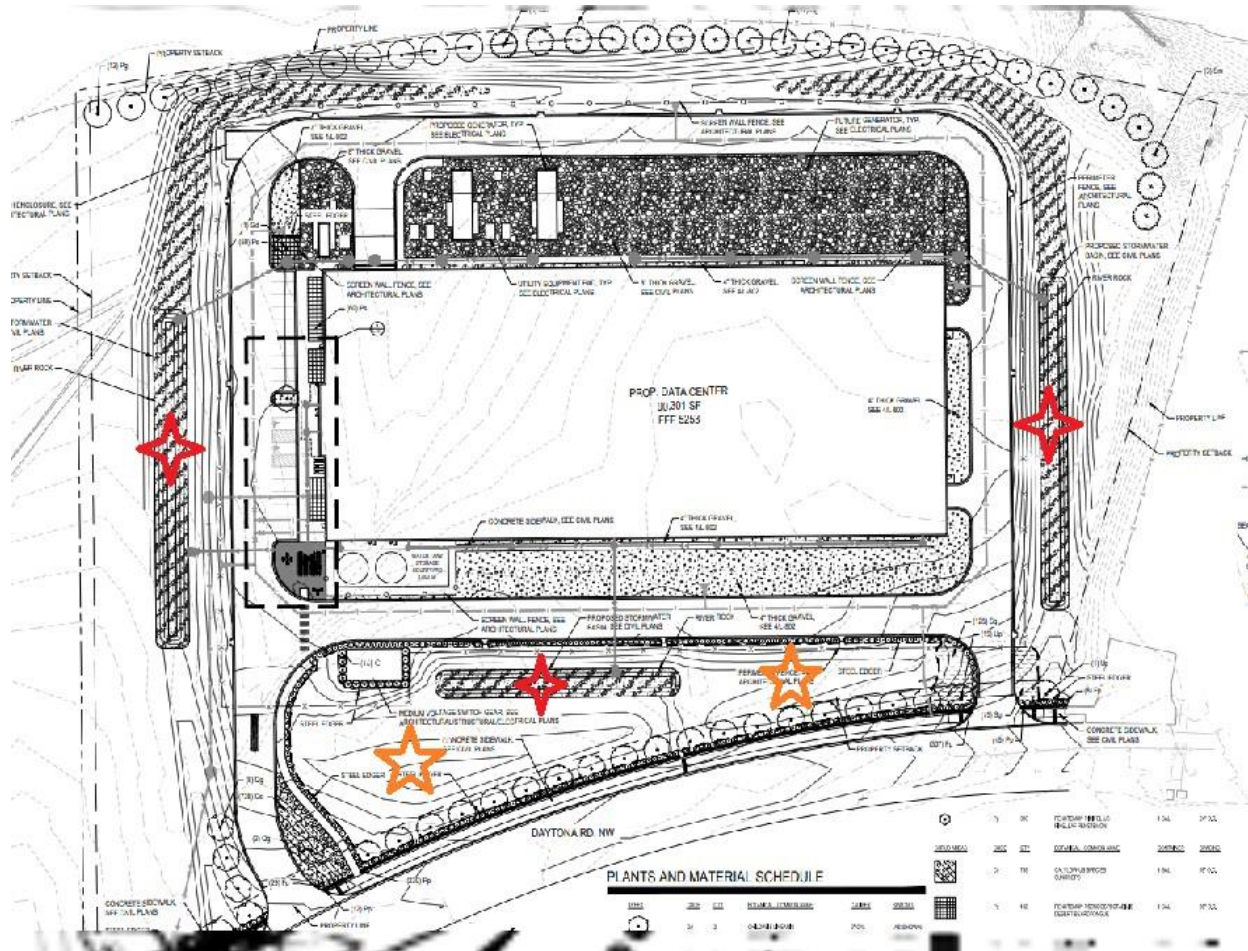
The landscape buffer from I-40 has been revised to provide an increased buffer per coordination with City Staff. Total shrubs for buffer provided are 141. 36 Curlleaf Mountain Mahogany, 35 Chamisa, 35 Apache Plume, 35 Texas ranger to enhance the buffer along the corridor.

5. Please add trees to provide shade for the ponding area. Consider adding very large tree canopies in these areas. Please see the marked-up image below for your reference.

The Landscape Plans have been updated to provide additional large trees for pond shading through coordination with City Staff. 12 *Ulmus Parvifolia*, 2 *Quercus Gris*, 2 *Sambucus Mexicana* and 1 *Prosopis Glandulosa* have been added adjacent to the stormwater basins.



Reference: Westpointe 10MW Data Center



Per IDO 5-6(C)(2)(a), a minimum of 15 percent of the net lot area of each development shall contain landscaping. Required Landscaping area is and proposed is 65,611 and proposed landscaped area is 73,012.

Acknowledged. Please see the Landscape Plans, Sheet L-800 Landscape Requirement Table, for updated landscaping area calculations.

5-6(C)(2)(c) The mature realistic spread of trees and shrubs will be used to calculate required vegetative coverage as follows.

1. Tree canopies and ground-level plants shall cover a minimum of 75 percent of the total landscape area as measured by canopy width or the area beneath the dripline of the mature size of the actual vegetation. **54,759 sf of landscape coverage is required. Please show correct calculations that provide tree coverage number.**

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Reference: Westpointe 10MW Data Center

*Please see Sheet L-800 for the updated calculations for landscape area coverage for plant canopies.*

**2. Of the required vegetative coverage, a minimum of 25 percent shall be provided as ground-level plants (shrubs, grasses, etc.) as measured of the mature size of the actual vegetation. 13,690 sf of ground-level plants is required. Please add more shrubs or groundcovers to comply with this code.**

*Please see Sheet L-800, Landscape Requirement Table for the updated calculations for vegetative coverage for ground-level plants.*

**5-6(C)(3)(e) Any covered or uncovered outdoor seating and gathering areas provided to meet requirements in Subsection 14-16-5-11(E)(3) (Outdoor Seating and Gathering Areas) may count toward up to 1/3 of required landscaping in Section 14-16-5-6 but shall be subject to standards in Subsection 14-16-5-6(C) (General Landscaping Standards).**

*The project is including 1,350 SF of outdoor seating and gathering areas per subsection 14-16-5-11(E)(3). This has been factored into the landscaping calculations, see Sheet L-800, Landscape Requirement Table*

**Per 5-6(C)(4)(i), shade trees planted approximately 25 feet on-center are required along all required pedestrian walkways. If the walkway is less than 25 feet long, at least one tree is required, or, where there is insufficient space for a tree, a trellis of at least 8 feet high for at least 5 feet along the walkway shall be provided. 35 trees along I40 is proposed. 26 trees long Daytona Rd were counted please explain. Alternate street tree species for the same reason previously mentioned in this memo.**

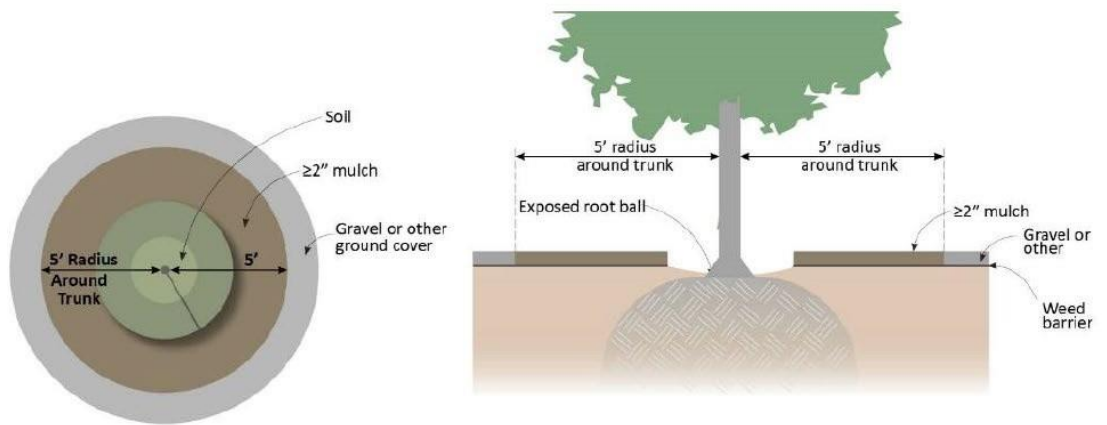
*The Landscape Plans have been updated to meet the required 30 shade trees along Daytona Road by adding additional trees within the 20' corridor from back of curb. Trees are alternating in species.*

**Per 5-6(C)(5)(c), the use of gravel or crusher fines as ground cover is limited to a maximum of 75 percent of any landscaped area. Please add proper calculations to demonstrate compliance with this code. Please see 5-6(C)(5)(e) for further information regarding this item. Provide area numbers for landscape materials on material legend.**

*The Landscape Plans have been updated to show breakdown of ground coverage throughout site on Sheet L-800, Landscape Requirement Table.*

**Per 5-6(C)(5)(e), organic mulch is required as ground cover under trees within a 5-foot radius around the tree trunk, but not directly against the trunk. In these areas, weed barrier fabric is prohibited. (See figure below.)**

Reference: Westpointe 10MW Data Center



Modify your tree planting detail to reflect this requirement. The organic mulch used under the trees can be counted towards non gravel mulch used on the site as discussed earlier under 5-6(C)(5)(c). Please make sure you are mention 'Organic Mulch' on your planting details.

*Detail 02, 03, and 05 on Sheet L-802 has been updated to include Organic Mulch.*

Per 5-6(C)(5)(f), all landscaped areas shall be protected from vehicular encroachment by curbs or wheel stops located 2 feet outside the landscaped area, with openings to accommodate surface collection of stormwater runoff in vegetated swales and stormwater infiltration areas. Please provide more information regarding this code and storm water runoff collection for this project.

*The proposed parking area in the front of the building (facing west) has concrete sidewalk behind the curb. There is no landscaped area adjacent to parking that would be subject to vehicle encroachment. The perimeter ring road has curb cuts that direct stormwater runoff to vegetated swales around the facility, directing stormwater runoff to the three identified stormwater management basins.*

### **5-6(C)(6) MINIMUM PLANT SIZES AT INSTALLATION**

All vegetation required by this Section 14-16-5-6 shall meet the minimum size requirements in Table 5-6-1 unless specified otherwise in this IDO.

Reference: Westpointe 10MW Data Center

Table 5-6-1: Minimum Plant Sizes	
Plant material type (ANSI types)	Minimum size
Deciduous Street Trees	2 in. caliper 6 in. above grade
Deciduous Accent Trees	1.5 in. caliper 6 in. above grade or 6 ft. in height
Evergreen Tree	6 ft. in height
Multi-trunk Tree	Minimum 2 trunks with a combined caliper of 2 in.
Shrubs	1 gallon container size
Ground cover and turf	Adequate to provide general ground cover within 1 growing season after planting

**This item is compliant.**

Per 5-6(C)(7)(a), vegetation required by this Section 14-16-5-6 shall be located at least 3 feet in any direction from any fire hydrants, valve vaults, hose bibs, manholes, hydrants, and fire department connections. **Please confirm compliance with this code.**

*The Landscape Plans have been updated to ensure plantings are a minimum 3' clear from all utilities.*

**5-6(C)(8) PROTECTING CLEAR SIGHT TRIANGLE**

1. The clear sight triangle shall be maintained at all exits of parking areas and street intersections. **Please show the site triangle on the landscape plan and demonstrate compliance with this code.**

*The Landscape Plans have been updated to show site triangle and no trees are planted within that area.*

**5-6(C)(10) PLANTING NEAR UTILITIES**

1. Per 5-6(C)(10)(a), trees and shrubs shall not be planted in utility easements unless there is no other practicable location on the lot where the landscaping would achieve its intended purpose. The Planning Director may adjust the location of required landscaping to avoid utility easements, provided that the total amount of landscaping and buffering required is not reduced.
2. **Please confirm compliance with this code. Confirm compliance with this code.**

*Trees and shrubs are not planted within existing or proposed utility easements.*

3. Per 5-6(C)(10)(b), trees shall not be planted within 10 feet in any direction of the centerline of a sewer or water line. (See figure below.)
4. **Please confirm compliance with this code. Confirm compliance with this code.**

*Trees are adjusted to not be planted withing 10' in any direction of sewer or water lines.*

5. Per 5-6(C)(10)(c), trees or shrubs planted within utility easements shall comply

Reference: Westpointe 10MW Data Center

**with the standards of the utility provider to minimize effects on facilities maintenance and repair. Confirm compliance with this code.**

*Trees and plants comply with the stands of the utility provider to minimize effect on facilities maintenance and repair.*

6. **Per 5-6(C)(10)(d), if overhead distribution electric lines are present and large trees cannot be planted due to potential interferences with the electric lines, one ornamental tree with a mature height of 12 feet shall be planted per 20 feet of street frontage. New trees planted near electric transmission lines shall be no taller than 25 feet in height at maturity to avoid conflicts with existing electric facilities. Confirm if overhead distribution electric lines are present.**

*No overhead distribution electric lines are present on site.*

7. **Per 5-6(C)(10)(e), all screening and vegetation surrounding ground-mounted transformers and utility pads must allow 10 feet of clearance for access and to ensure the safety of the work crews and public during maintenance and repair. Confirm compliance with this code. Please confirm the location of transformer/s.**

*A 10' clearance for access and safety of work crews has been provided at transformers and utility pads. Location of transformer is shown on sheet L-101.*

8. **Per 5-6(C)(10)(f), trees shall not be planted near existing or proposed street light poles. Confirm compliance with this code.**

*Trees are not planted near existing or proposed street light poles as shown on sheet L-101.*

#### **5-6(C)(12) EXISTING VEGETATION CREDIT**

1. **Confirm whether or not any existing vegetation will be maintained. None will be maintained.**

*No existing vegetation will be maintained on site. All vegetation shall be new as shown on sheet L-101.*

Reference: Westpointe 10MW Data Center

### **5-6(C)(13) STORMWATER MANAGEMENT FEATURES**

1. Per 5-6(C)(13)(a), required landscape and buffer areas shall be designed to serve as stormwater management areas to the maximum extent practicable and consistent with their required locations and vegetation. **Articulate how this project has considered this code.**

*The required landscape and buffer areas are designed to serve as storm water management by reducing the speed of water runoff into the detention pond. The peak discharge rate from the site is 13.0 CFS which is less than the 28.2 CFS allowed. The proposed swales will also include soil preparation with hand broadcast seed and angular aggregate rock to help with the storm water runoff erosion throughout the site as shown on Landscape Plan sheet L-101 and slope detail A1 on sheet L-803.*

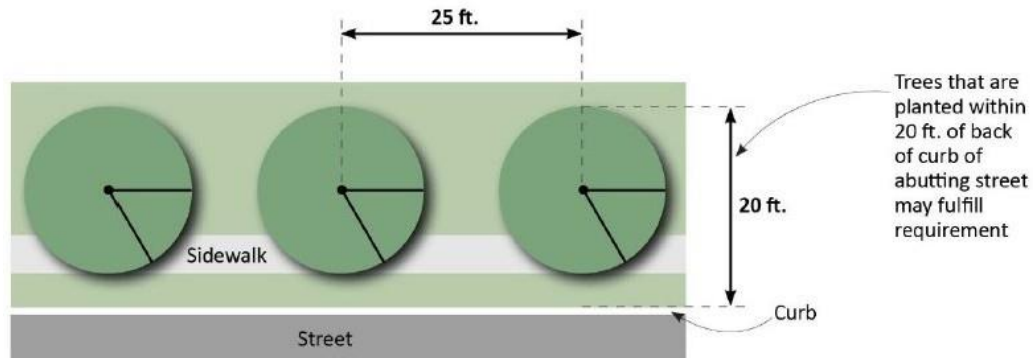
### **5-6(D) STREET FRONTAGE LANDSCAPING**

#### **5-6(D)(1) Required Street Trees**

1. Per 5-6(D)(1)(a), all development shall comply with Part 6-6-2 of ROA 1994 (Street Trees) and any standards developed by the Parks and Recreation Department or other City department to implement that Ordinance. Trees are generally required along street frontages every 25 feet on center unless specified otherwise in Part 6-6-2 of ROA 1994 (Street Trees). Along street frontages where street trees are required, trees that are planted within 20 feet of the back of curb of the abutting street may fulfill this requirement. (See figure below.) **Confirm compliance with this code.**

*Street Frontage trees have been placed at 25' on center and have been placed within 20' from back of curb to meet the required street trees along Daytona Road.*

Reference: Westpointe 10MW Data Center



2. 5-6(D)(1)(c) Planting areas necessary for trees in the street frontage shall meet the minimum size requirements in Table 5-6-3 unless specified otherwise in this IDO. Tree grates may be used in constrained locations to accommodate pedestrian circulation, to allow the required planting areas to have a walkable surface. **Confirm compliance with this code.**

*Trees proposed along the street frontage are sized at 2" which is the minimum requirement per code, see sheet L-102.*

### **5-6(F)(2) PARKING LOT INTERIOR**

1. Per 5-6(F)(2)(a) General, at least 10 percent of the parking lot area of lots containing 50 or fewer spaces, and at least 15 percent of the parking lot area of lots containing 50 or more spaces, shall be landscaped. **Add area numbers to the parking lot islands.**

*Sheet L-800 Table C. Parking Lot Landscaping indicates more than 10% of the parking lot as proposed landscape area. The proposed landscape area for parking lot is 1500 square feet. The Enlargement Platting plan sheet L-102 indicates square footage of the parking lot island and planting beds.*

### **5-6(F)(2)(C) TREE REQUIREMENTS**

1. One (1) tree is required per 10 parking spaces. **Compliant. 2 trees are proposed.**
2. No parking space may be more than 100 feet in any direction from a tree trunk. **Compliant.**
3. At least 75 percent of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet. **Compliant**

Reference: Westpointe 10MW Data Center

### **5-6(F)(2)(D) LOCATION AND DIMENSION OF LANDSCAPED AREAS**

1. The minimum size of tree planters within off-street parking areas shall be 60 square feet per tree. This requirement may be reduced to 36 square feet if the surface of a parking or vehicle circulation area abutting the tree planter is of a permeable material and, combined with the tree planter area, meets the 60 square foot per tree requirement. **Confirm compliance with this code.**

*Sheet L-800 Table C. Parking Lot Landscaping requires 120 square feet of planting area. The proposed landscape areas in parking lot are 625 square feet. The Enlargement Plating plan sheet L-102 indicates square footage of the parking lot island.*

### **5-6(G) SCREENING OF MECHANICAL EQUIPMENT AND SUPPORT AREAS**

#### **5-6(G)(1) Roof-mounted Mechanical Equipment**

1. 5-6(G)(1)(b) In any R-ML, R-MH, Mixed-use, NR-C, NR-BP, NR-SU, or NR-PO zone district, roof-mounted mechanical equipment shall be screened by a parapet wall or similar feature that is an integral part of the building's architectural design. The parapet wall or similar feature shall be sufficient to screen the mechanical equipment from all sides when viewed from 5 feet above ground level at any property line abutting a City park or trail, Major Public Open Space, major arroyo, or public street classified as a collector, arterial, or interstate highway. **Confirm compliance with this code.**

*The roof mounted mechanical units are screened by the parapet wall completely and are not visible from public view 5' above ground level.*

#### **5-6(G)(2) GROUND-MOUNTED MECHANICAL EQUIPMENT**

1. Per 5-6(G)(2)(a), R-ML, R-MH, and Mixed-use Zone Districts, outdoor ground-mounted mechanical equipment shall be located where it is not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable. **Confirm compliance with this code.**

*The project has located ground mounted mechanical equipment in locations not visible where feasible. All other locations will be screened per the comment below.*

#### **5-6(G)(2)(C) SCREENING**

1. Where it is not practicable to locate ground-mounted mechanical equipment pursuant to Subsections (a) and (b) above, such equipment shall be screened from view by an opaque decorative wall or fence or a vegetative screen.
2. The wall or fence shall be of a height equal to or greater than the height of



Reference: Westpointe 10MW Data Center

the mechanical equipment being screened and shall incorporate at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block).

3. The vegetative screen shall be planted along the full length of the equipment to be screened and shall be of a height equal to or greater than the height of the equipment to be screened at the time of planting.
4. No screening of ground-mounted solar energy equipment that would reduce the efficiency or effectiveness of the solar energy equipment is required. **Confirm compliance with this code.**

*Transformer pads and other ground mounted mechanical equipment will be screened by landscaping that will be as tall as the equipment at time of planting. At this time, the transformer is a TBD location as PNM design is forthcoming at a later date. The design team will update City Staff once the exact location is determined and provide the revised landscaping plan for review and approval prior to construction.*

#### **5-6(G)(2)(D) SAFETY EXEMPTION**

1. Notwithstanding Subsections (a), (b), and (c) above, screening is not required if it would violate any State or federal safety rules.

*Noted.*

#### **5-6(G)(3) LOADING, SERVICE, AND REFUSE AREAS**

1. Per 5-6(G)(3)(a) Covering Waste Containers, all waste containers and dumpsters shall be in a roofed enclosure or be equipped with and use a lid covering and shall be designed so that stormwater runoff does not reach storm drain inlets. **Confirm compliance with this code**
2. Per 5-6(G)(3)(c) R-ML, R-MH, and Mixed-use Zone Districts Outdoor loading, service, and refuse areas shall be integrated into the building design if possible, or shall be located where they are not visible from streets, City parks or trails, Major Public Open Space, or major arroyos adjacent to the lot or from adjacent properties to the maximum extent practicable. **Confirm compliance with this code**

*The waste container will have a lid covering it to mitigate stormwater runoff entering the refuse collection. The location is separate from the building, but is screened by the buffer yard along I-40 and contained within an architectural trash enclosure.*

#### **5-6(G)(3)(E) SCREENING**

1. Where it is not practicable to locate the loading, service, and refuse areas

Reference: Westpointe 10MW Data Center

pursuant to Subsections (c) and (d) above, they shall be screened from view by an opaque decorative wall or fence at least 6 feet tall but not more than 8 feet tall that incorporates at least 1 of the primary materials and colors of the nearest wall of the primary building (but excluding exposed CMU block) or a vegetative screen planted along the full length of the area to be screened and at least 8 feet high at the time of planting. **Confirm compliance with this code.**

*The waste container / refuse area will be within an architectural trash enclosure as noted on the plans.*

### **5-7 WALLS AND FENCES**

1. **Please demonstrate compliance with this section if there are any walls or fences being proposed for this project.**

*The project has a 6' tall perimeter security fence surrounding the facility. The fence is setback further than 5' from the Daytona ROW.*

### **5-7 OUTDOOR AND SITE LIGHTING**

1. **Confirm if lighting will be reviewed with the building permit or now, with the site plan.**

*Preliminary photometric calculations have been performed and will be submitted for review with the building permit.*

### **5-11(E)(2) FAÇADE DESIGN**

#### **5-11(E)(2)(a) General**

1. Façades shall be designed to provide a sense of human scale at ground level by providing a clear architectural distinction between ground floor levels and all additional levels.
2. Each street-facing façade shall incorporate at least 2 of the following features (illustrated below) along at least 30 percent of the length of the façade, distributed along the façade so that at least 1 of the incorporated features occurs every 40 feet:
  - a. *Ground-floor transparent windows, with the lower edge of window sills no higher than 30 inches above the finished floor.*
  - b. *Windows on upper floors.*
  - c. *Primary pedestrian entrances.*
  - d. *Portals, arcades, canopies, trellises, awnings over windows, or other elements that provide shade or protection from the weather.*
  - e. *Sun shelves or other exterior building features designed to reflect sunlight into the building and reduce the need for interior lighting.*
  - f. *Raised planters between 12 inches and 28 inches above grade with the surface planted to achieve at least 75 percent vegetative cover at maturity.*
3. Each street-facing façade longer than 100 feet shall incorporate at least 1 of the following additional features (illustrated below):

Reference: Westpointe 10MW Data Center

***g. Wall plane projections or recesses of at least 1 foot in depth at least every 100 feet of façade length and extending for at least 25 percent of the length of the façade.***

***h. A change in color, texture, or material at least every 50 feet of façade length and extending at least 20 percent of the length of the façade.***

***i. An offset, reveal, pilaster, or projecting element no less than 2 feet in width, projecting from the façade by at least 6 inches, and repeating at minimum intervals of 30 feet of façade length.***

***j. Three-dimensional cornice or base treatments.***

***k. A projecting gable, hip feature, or change in parapet height at least every 100 feet of façade length.***

***l. Art such as murals or sculpture that is privately-owned or coordinated through the City Public Arts Program.***

- 4. All accessory buildings visible from a public street shall be similar in color, material, distinctive rooflines, finishing details, and accent features to the primary building.**

*On the southeast elevation (Daytona), awnings have been added above the doors per 5-11(E)(2)a.2. Due to the intake louvers on that wall, the planner agreed that planters would not be good. None of the other options in 5-11(E)(2)a.2 are applicable. Textured concrete panels have been added to the building to create further visual interest per 5-11(E)(2)a.3. The building will be painted two tones of gray along with a vivid blue, to further meet 5-11(E)(2)a.3. We discussed with the planner to vary the parapet height on the southeast and northwest elevations, but it was agreed that this was not necessary due to structural limitations for tall parapets. The parapet fully blocks any view of rooftop equipment. 5-11(E)(2)a.1 is not applicable for this building type. There are no accessory buildings.*

### **5-11(E)(3) OUTDOOR SEATING AND GATHERING AREAS**

#### **5-11(E)(3)(a) General**

- 1. For primary buildings containing a use from the Transportation subcategory of Commercial Uses or from the Industrial Uses category in Table 4-2-1, at least 1 outdoor seating and gathering area shall be provided that is a minimum of 500 square feet.**

*The project is including 1,350 SF of outdoor seating and gathering areas per subsection 14-16-5-11(E)(3). Located adjacent to the front entrance to the building.*

- 2. For all other uses, each primary building containing more than 30,000 square feet of gross floor area shall provide at least 1 outdoor seating and gathering area for every 30,000 square feet of building gross floor area, meeting all of the following standards.**

***m. Each required seating and gathering area shall be at least 400 square feet in size for each 30,000 square feet of gross floor area.***

***n. At least 25 percent of the required seating and gathering areas shall be shaded from the sun.***

***o. The seating and gathering area shall be provided with pedestrian-scale lighting, street furniture or seating areas, and trash receptacles.***

Reference: Westpointe 10MW Data Center

**p. The required seating and gathering area shall be linked to the primary entrance of the primary building and the public sidewalk or internal drive aisle or located adjacent to or to maximize views to public or private open space.**

**Please demonstrate compliance with this code.**

The project is including 1,350 SF of outdoor seating and gathering areas per subsection 14-16-5-11(E)(3). The area is located near the front entrance of the building and linked to the primary pedestrian entrance sidewalk. A 324 SF shade structure has been provided. The area has tables with benches and trash receptacles. Pedestrian-scale lighting will be provided and will be included with the photometric for review at time of building permit.

#### **5-11 SIGNS**

- 1. Confirm if lighting will be reviewed with the building permit or now, with the site plan.**

*Lighting has been preliminary designed, but will be submitted for review with the building permit process.*

#### **REQUIRED NOTES**

##### **LANDSCAPING and IRRIGATION**

- 1. Add the following notes to your landscaping and Irrigation plan notes:**
- 2. Per 5-6(C)(4)(g), all vegetation shall comply with Article 9-12 and Parts 6-1-1 and 6-6-2 of ROA 1994 (Pollen Control, Water Conservation Landscaping and Water Waste, and Street Trees) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance) as applicable. Add a note to the Landscape Plan general notes to reflect this code.**

*Sheet L-800 under Landscaping General Notes reflect this code.*

- 3. Per 5-6(C)(4)(h), all required plant materials shall be free of disease and insects and shall conform to the American Standard for Nursery Stock (ASNA) of the American Nursery and Landscape Association. Add a note to the Landscape Plan general notes to reflect this code.**

*Sheet L-800 under Landscaping General Notes reflect this code.*

- 4. Per 5-6(C)(5)(a), all vegetated material required by this Section 14-16-5-6 shall be planted in uncompacted soil. Please add a note to the Landscape Plan general notes to reflect this code. Add a note to the Landscape Plan general notes to reflect this code.**

*Sheet L-800 under Landscaping General Notes reflect this code.*

- 5. Per 5-6(C)(5)(b), if used, weed barriers shall be permeable to optimize stormwater infiltration and prevent runoff. Add a note to the Landscape Plan general notes to reflect this code.**

Reference: Westpointe 10MW Data Center

*Sheet L-800 under Landscaping General Notes reflect this code.*

6. Per 5-6(C)(5)(d), a minimum of 2 inches of organic mulch is required in all planting areas, with 3-4 inches recommended. **Add a note to the Landscape Plan general notes to reflect this code.**

*Sheet L-800 under Landscaping General Notes reflect this code.*

### **5-6(C)(9) PLANTING IN OR OVER THE PUBLIC RIGHT-OF-WAY**

1. 5-6(C)(9)(a) All planting of vegetated material or installation of any landscaping, buffering, or screening material in the public right-of way shall require the prior approval of the City. The property owner shall be responsible for the maintenance, repairs, or liability for all the landscaping placed in or over the public right-of way. **Add a note to the Landscape Plan general notes to reflect this code.**

*Sheet L-800 under Planting in/over the Public Right-of-Way notes reflect this code.*

2. 5-6(C)(9)(b) Any trees that overhang a public sidewalk or Major Public Open Space shall be trimmed to maintain an 8-foot clearance over the sidewalk. Any trees that overhang a public street shall be trimmed to maintain a 9-foot clearance over the street surface. **Add a note to the Landscape Plan general notes to reflect this code**

*Sheet L-800 under Planting in/over the Public Right-of-Way notes reflect this code.*

3. Per 5-6(C)(9)(c), where landscaping is installed in the public right-of-way, the applicant shall install an adequate irrigation system that meets the minimum technical requirements in Article 6-6 of ROA 1994 (Trees, Vegetation and Landscaping) and the DPM, with a separate meter for the landscape area in the public right-of-way, or a separate valve(s) at the property line allowing isolation of the irrigation to the landscape within the public right-of-way. Drip irrigation systems and artificial turf shall not be allowed within the public right-of-way. **Add a note to the Landscape Plan general notes to reflect this code**

*Sheet L-800 under Planting in/over the Public Right-of-Way notes reflect this code.*

### **5-6(C)(14) IRRIGATION SYSTEMS**

1. Per 5-6(C)(14)(a), irrigation systems shall comply with Section 8 of the ABCWUA Legislation and Ordinances (Cross Connection Prevention and Control Ordinance). **Add a note to the Landscape Plan general notes to reflect this code**

*Sheet L-800 under Irrigation notes reflect this code.*

Reference: Westpointe 10MW Data Center

2. Per 5-6(C)(14)(b), all irrigation systems shall be designed to minimize the use of water. **Add a note to the Landscape Plan general notes to reflect this code**

*Sheet L-800 under Irrigation notes reflect this code.*

3. 5-6(C)(14)(c), all non-residential landscape irrigation shall have automatic timers and/or programmable settings to avoid overwatering. **Add a note to the Landscape Plan general notes to reflect this code**

*Sheet L-800 under Irrigation notes reflect this code.*

4. Per 5-6(C)(14)(d), the irrigation system shall not spray or irrigate impervious surfaces, including sidewalks, driveways, drive aisles, streets, and parking and loading areas. **Add a note to the Landscape Plan general notes to reflect this code**

*Sheet L-800 under Irrigation notes reflect this code.*

### **5-6(C)(15) INSTALLATION**

1. 5-6(C)(15)(c) Any damage to utility lines resulting from the negligence of the abutting property owner or the property owner's agents or employees in the installation and maintenance of any landscaping, screening, or buffering in a public right-of-way, private way, or easement shall be the responsibility of such property owner. Any damage to utility lines resulting from the growth of plant materials that have been approved by the applicable public utility as part of a plan for landscaping, screening, or buffering on the public right of way shall be the responsibility of such public utility. If a public utility disturbs landscaping, screening, or buffering in a public right-of-way, private way, or easement, it shall make every reasonable effort to preserve the landscaping materials and return them to their prior locations after the utility work. If the plant materials die despite those efforts, it is the obligation of the abutting property owner to replace the plant materials. **Add a note to the Landscape Plan general notes to reflect this code**

*Sheet L-800 under Installation notes reflect this code.*

2. 5-6(C)(15)(d) Property owners acknowledge that approved landscaping and trees installed and maintained in a public right-of-way, private way, or easement abutting private properties are the property of the City, and that that the City reserves the right to remove them if necessary for a transportation project without compensation, but at no cost to the property owner. Landscaping installed in an abutting public

Reference: Westpointe 10MW Data Center

**right-of-way, private way, or easement by property owners and later removed by the City shall not impact previously approved net lot area calculations for required landscaping. Add a note to the Landscape Plan general notes to reflect this code**

*Sheet L-800 under Irrigation notes reflect this code.*

### **5-13(B)(7) LANDSCAPING, BUFFERING, AND SCREENING**

1. **5-13(B)(7)(a) Landscaping, screening and buffering areas shall be maintained in compliance with Articles 6-6 and 9-8 of ROA 1994 (Trees, Vegetation, and Landscaping and Weeds, Litter, and Snow) and Section 4 of the Albuquerque Bernalillo County Water Authority (ABCWUA) Legislation and Ordinances (Water Waste Reduction Ordinance). A note must be added to the Landscape Plan to reflect this code.**

*Sheet L-800 under Landscaping, Buffering and Screening notes reflect this code.*

2. **5-13(B)(7)(b) All landscaped areas shall be maintained with a neat and orderly appearance, which includes pruning, removal and replacement of dead or diseased plants and trees, disposal of litter, repair of damaged walls and hard surface areas, and upkeep of irrigation systems. A note must be added to the Landscape Plan to reflect this code.**

*Sheet L-800 under Landscaping, Buffering and Screening notes reflect this code.*

3. **5-13(B)(7)(d) Where landscaping was installed pursuant to a Site Plan or development approval, the landscaping shall be replaced according to any landscaping and maintenance plan under that approval. A note must be added to the Landscape Plan to reflect this code.**

*Sheet L-800 under Landscaping, Buffering and Screening notes reflect this code.*

4. **5-13(B)(7)(e) Trees or plants that die shall be replaced by the owner as expeditiously as possible, but in no case longer than 60 calendar days after notice from the City. The replacement of dead vegetation is the responsibility of the property owner. A note must be added to the Landscape Plan to reflect this code.**

*Sheet L-800 under Landscaping, Buffering and Screening notes reflect this code.*

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- 5. 5-13(B)(7)(f) Street trees shall be maintained alive and healthy. Maintaining and replacing street trees or other trees planted in the public right-of-way are the responsibility of abutting property owners. A note must be added to the Landscape Plan to reflect this code.**

*Sheet L-800 under Landscaping, Buffering and Screening notes reflect this code.*

Should you have any questions, or need clarification of anything, please do not hesitate to call or email Jack Ammerman at 810-252-1431 and [jack.ammerman@stantec.com](mailto:jack.ammerman@stantec.com).

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